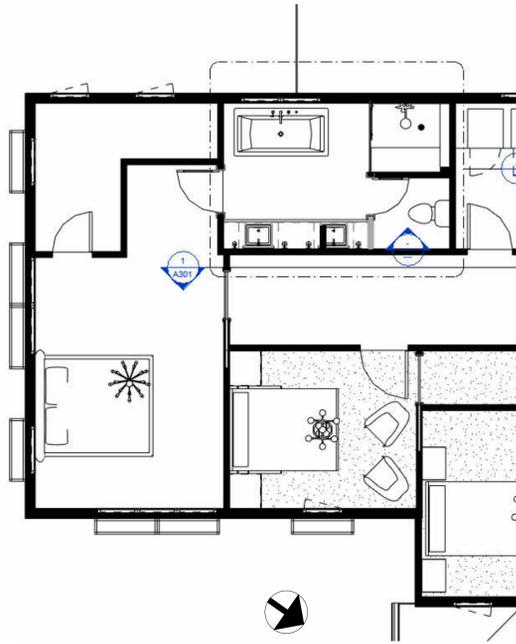




MILHAVEN MANOR RENOVATION

200 DARES FERRY RD, SPARTANBURG, SC, 29302

MASTER BEDROOM AND BATHROOM



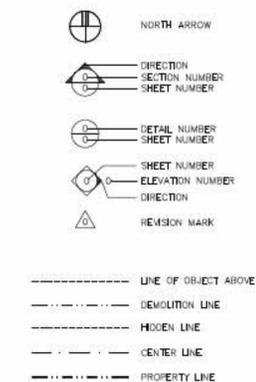
FIRST FLOOR



SITE PLAN



Symbol Legend



CONSTRUCTION LEGEND

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Bath Detailed Elevations	A9b
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GENERAL NOTES

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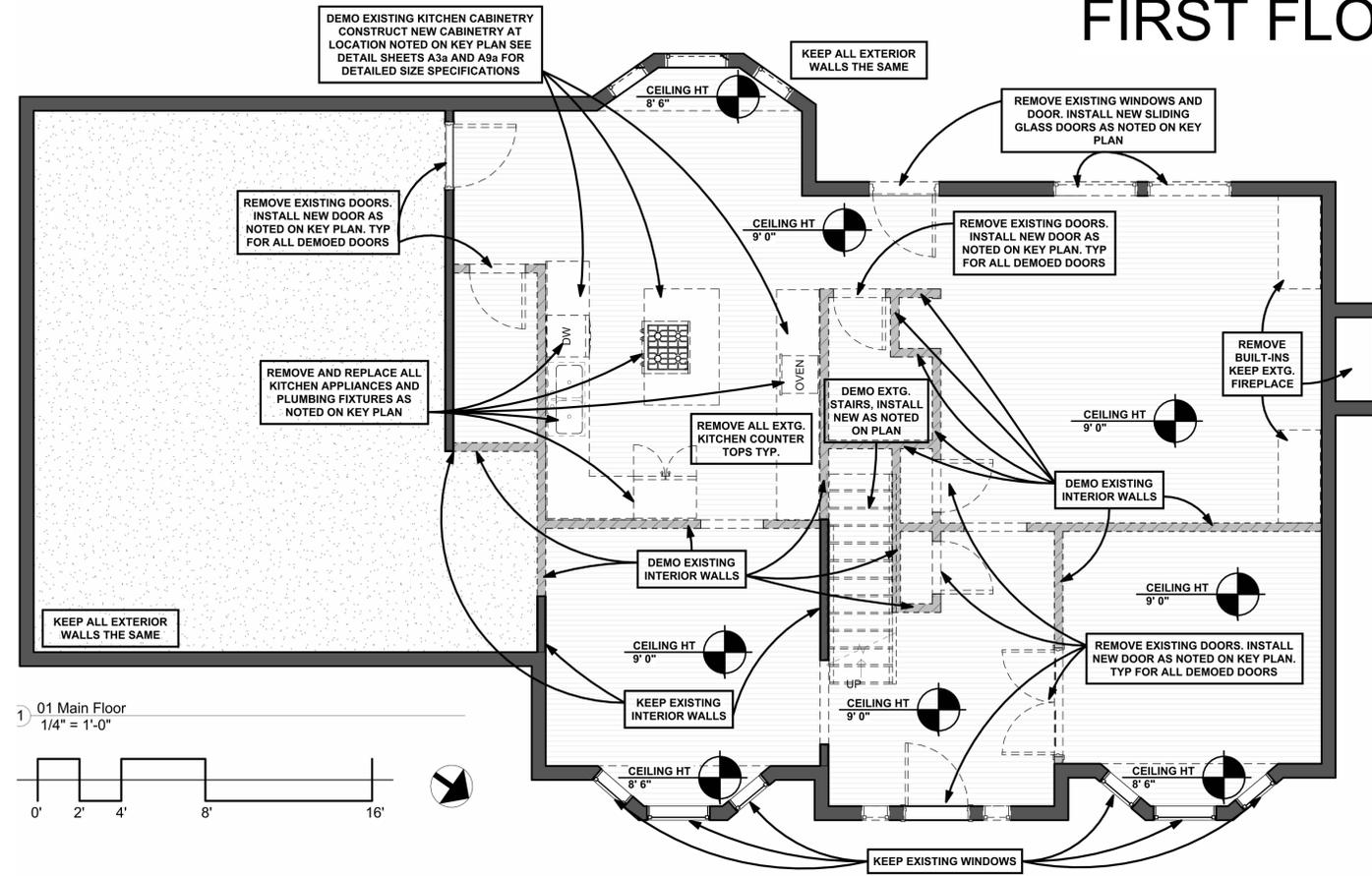
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 Checked By: JG

Cover Page

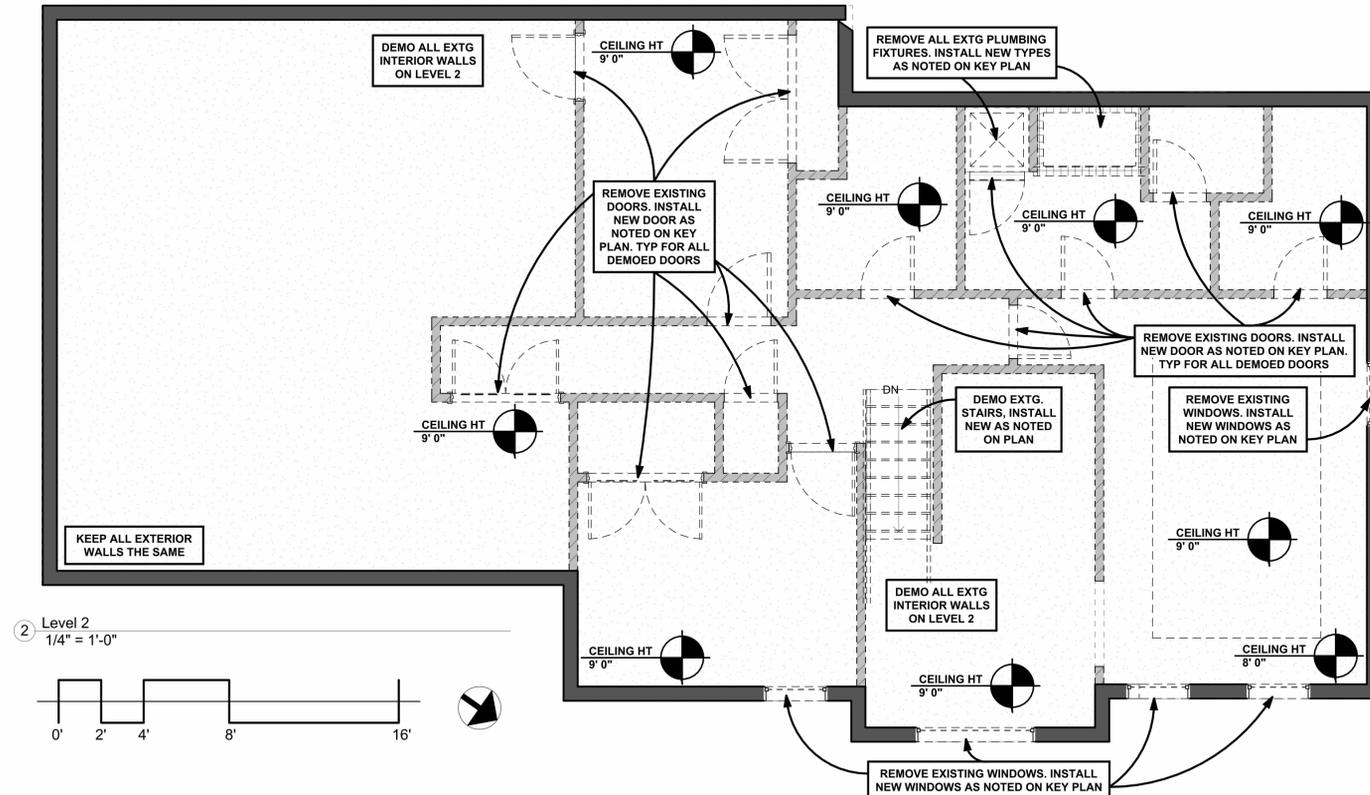
A1

CLIENT:

FIRST FLOOR PLAN



SECOND FLOOR PLAN



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200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

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Date Issue Date
Drawn By KB
Checked By JG

Demolition Plan

A2

CLIENT:

MILHAVEN MANOR RENOVATION

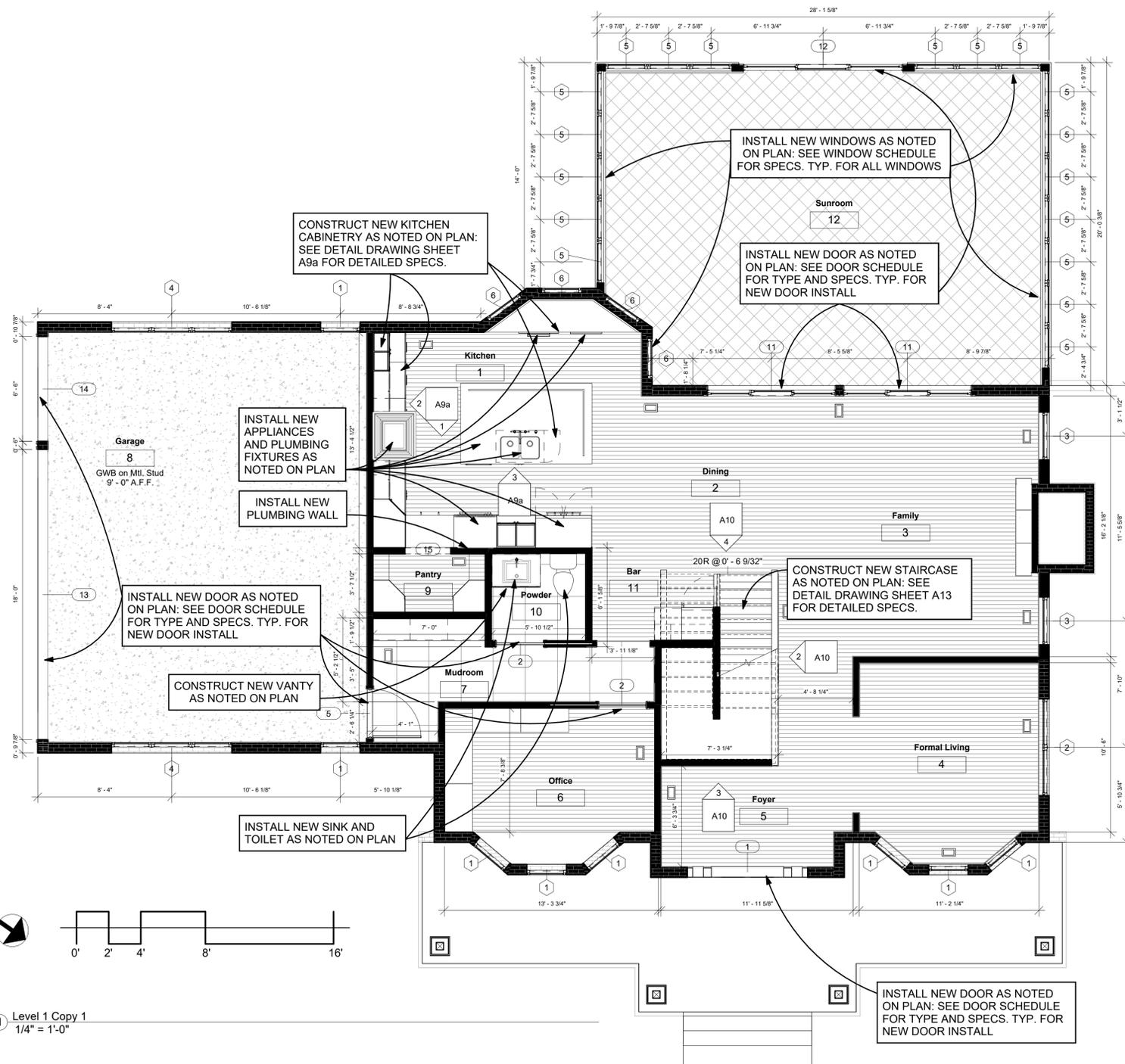
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Floor Plan Level 1

A3a



1 Level 1 Copy 1
1/4" = 1'-0"

- 1 Wall Tag
 - 101 Door Tag
 - 11 Window Tag
 - TimberTech Composite Decking - Azek Vintage English Walnut
 - Karndean Korlok Select Vinyl - Warm Brushed Oak
 - Ferrari BK - Via del Centro Tile
 - Walker Zanger Villa D'Oro Tile - Palermo Sage
 - Polished Concrete
 - Carpet
- Legend 3
1" = 1'-0"

Room Schedule	
Name	Number
Kitchen	1
Dining	2
Family	3
Formal Living	4
Foyer	5
Office	6
Mudroom	7
Garage	8
Pantry	9
Powder	10
Bar	11
Sunroom	12
Guest Bath B	13
Watercloset B	14
Hall Closet	15
Bedroom A	16
Wardrobe A	17
Guest Bath A	18
Watercloset B	19
Laundry	20
Primary Watercloset	21
Primary Bath	22
Primary Wardrobe	23
Primary Bedroom	24
Bedroom C	25
Wardrobe C	26
Bedroom B	27
Wardrobe B	28
Hall	29

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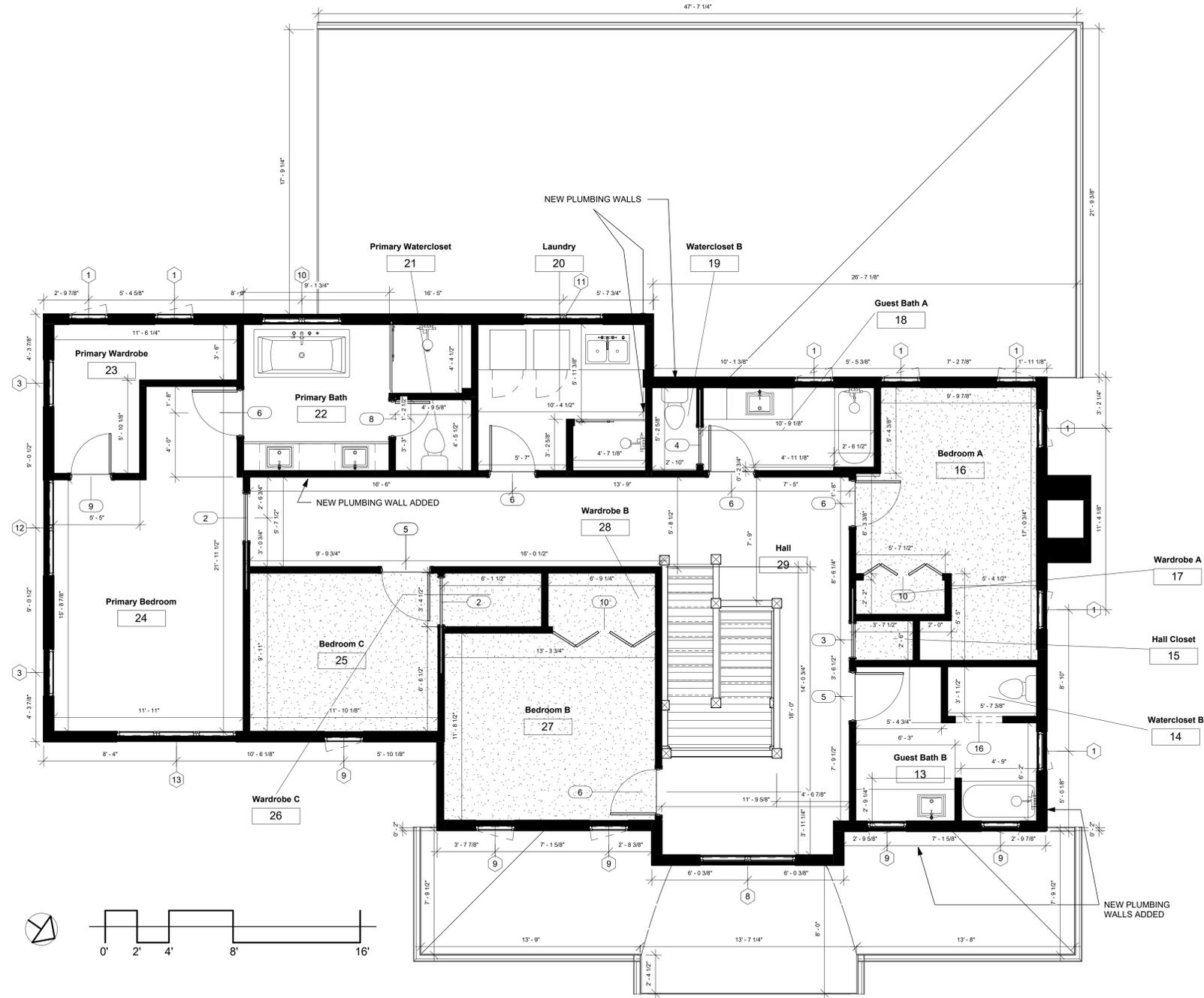
Window Schedule						
Mark	Level	Description	Sill Height	Head Height	Dimensions	Quantity
1	Level 2	Single Wide Fixed Casement Window	2' - 6"	7' - 5 3/4"	4' - 11 3/4" x 2' - 5 5/8"	3
1	Level 2	Single Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 2' - 5 5/8"	5
1	Level 1	Single Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	8
2	Level 1	Double Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 6' - 0"	1
3	Level 2	Single Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 2' - 11 5/8"	2
3	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 11 5/8"	2
4	Level 1	Triple Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 7' - 6"	2
5	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 7 5/8"	18
6	Level 1	Single Wide Fixed Casement Window	4' - 0"	8' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	4
8	Level 2	Triple Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 6' - 0"	1
9	Level 2	Single Wide Swinging Casement Window	2' - 8"	7' - 1 3/4"	4' - 5 3/4" x 2' - 5 5/8"	5
10	Level 2	Double Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 5' - 0"	1
11	Level 2	Double Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 5' - 0"	1
12	Level 2	CSMT	3' - 0"	9' - 11 3/4"	6' - 11 3/4" x 6' - 0"	1
13	Level 2	CSMT	2' - 8"	8' - 2"	5' - 6" x 7' - 6"	1

Door Schedule						
Mark	Level	Description	Head Height	Sill Height	Dimensions	Quantity
1	Level 1	Arched Exterior Door	6' - 6"	0' - 0"	6' - 6" x 3' - 0"	1
2	Level 1 & Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	4
3	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
4	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 4"	1
5	Level 1 & Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	3
6	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 10"	5
8	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
9	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 6"	1
10	Level 2	<varies>	<varies>	0' - 0"	<varies> x <varies>	2
11	Level 1	Sliding Glass Patio Door	7' - 11 1/2"	0' - 0"	7' - 11 1/2" x 8' - 0"	2
12	Level 1	Sliding Glass Patio Door	9' - 0"	0' - 0"	9' - 0" x 9' - 11 1/2"	1
13	Level 1	Single Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 18' - 0"	1
14	Level 1	Double Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 6' - 6"	1
15	Level 1	Door Opening Hidden Behind Faux Cabinet	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1
16	Level 2	Door Opening	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1

CLIENT:

MILHAVEN MANOR RENOVATION

200 DARES FERRY
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- Wall Tag
- Door Tag
- Window Tag
- TimberTech Composite Decking - Azek Vintage English Walnut
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Formal Living	4
Foyer	5
Office	6
Mudroom	7
Garage	8
Pantry	9
Powder	10
Bar	11
Sunroom	12
Guest Bath B	13
Watercloset B	14
Hall Closet	15
Bedroom A	16
Wardrobe A	17
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Level 2 Copy 1
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Window Schedule						
Mark	Level	Description	Sill Height	Head Height	Dimensions	Quantity
1	Level 2	Single Wide Fixed Casement Window	2' - 6"	7' - 5 3/4"	4' - 11 3/4" x 2' - 5 5/8"	3
1	Level 2	Single Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 2' - 5 5/8"	5
1	Level 1	Single Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	8
2	Level 1	Double Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 6' - 0"	1
3	Level 2	Single Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 2' - 11 5/8"	2
3	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 11 5/8"	2
4	Level 1	Triple Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 7' - 6"	2
5	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 7 5/8"	18
6	Level 1	Single Wide Fixed Casement Window	4' - 0"	8' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	4
8	Level 2	Triple Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 6' - 0"	1
9	Level 2	Single Wide Swinging Casement Window	2' - 8"	7' - 1 3/4"	4' - 5 3/4" x 2' - 5 5/8"	5
10	Level 2	Double Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 5' - 0"	1
11	Level 2	Double Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 5' - 0"	1
12	Level 2	CSMT	3' - 0"	9' - 11 3/4"	6' - 11 3/4" x 6' - 0"	1
13	Level 2	CSMT	2' - 8"	8' - 2"	5' - 6" x 7' - 6"	1

Door Schedule						
Mark	Level	Description	Head Height	Sill Height	Dimensions	Quantity
1	Level 1	Arched Exterior Door	6' - 6"	0' - 0"	6' - 6" x 3' - 0"	1
2	Level 1 & Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	4
3	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
4	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 4"	1
5	Level 1 & Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	3
6	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 10"	5
8	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
9	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 6"	1
10	Level 2	<varies>	<varies>	0' - 0"	<varies> x <varies>	2
11	Level 1	Sliding Glass Patio Door	7' - 11 1/2"	0' - 0"	7' - 11 1/2" x 8' - 0"	2
12	Level 1	Sliding Glass Patio Door	9' - 0"	0' - 0"	9' - 0" x 9' - 11 1/2"	1
13	Level 1	Single Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 18' - 0"	1
14	Level 1	Double Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 6' - 6"	1
15	Level 1	Door Opening Hidden Behind Faux Cabinet	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1
16	Level 2	Door Opening	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1

ISSUE FOR: CODE REVIEW

Date: _____ Issue Date: _____
 Drawn By: KB
 Checked By: JG

Floor Plan Level 2

A3b

CLIENT:

MILHAVEN MANOR RENOVATION

200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

ISSUE FOR: CODE REVIEW

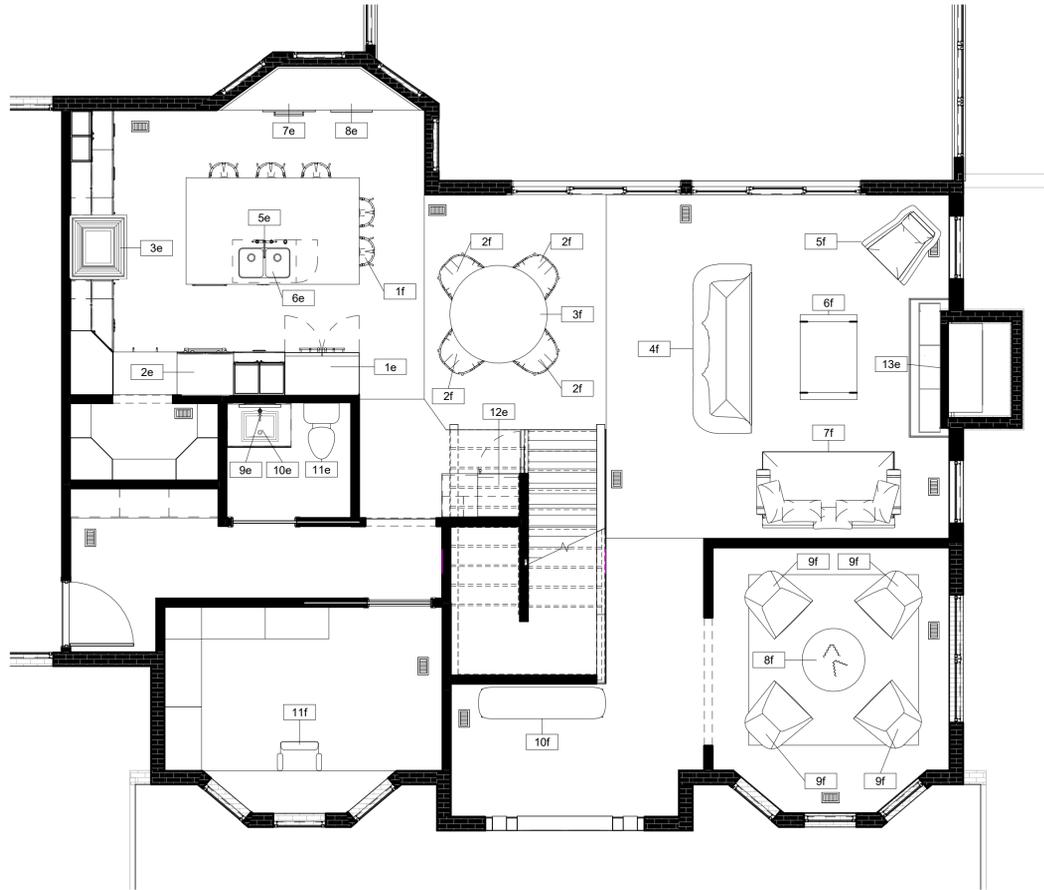
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Checked By JG

Furniture Plan

A4

Equipment Schedule												
Type Mark	Type	Width	Depth	Height	Room	Mounting Location	Manufacturer Name	Model Name	Model Number	Main Material	Finishes	Count
1e	Refrigerator	3' - 6"	2' - 0"	7' - 0"	Kitchen	N/A	Sub-Zero	Panel Redy French Door Refrigerator with Internal Dispenser	BI-42UFDID	N/A	Panels Painted in PPG Whiskers	1
2e	Wall Oven	2' - 5 1/2"	2' - 1 3/4"	4' - 3 7/8"	Kitchen	N/A	Viking	Electric Double Premiere Oven	VDOE530PG	Stainless Steel	Stainless Steel and Pacific Gray	1
3e	Gas Range	3' - 0"	1' - 9"	0' - 6 3/4"	Kitchen	Flush with Countertop	Wolf	Contemporary Gas Cooktop - 5 Burners	CG365C/S	Stainless Steel	Stainless Steel	1
5e	Faucet	1' - 1 13/16"	0' - 8 19/32"	1' - 1 11/32"	Kitchen/Laundry	Countertop	Brizo	Artesso Bridge Faucet with Side Sprayer	62525L-F-GL	Solid Brass	Luxe Gold	2
6e	Sink	1' - 10"	0' - 9 5/8"	2' - 9"	Kitchen	Undermount	Kohler	Cape Dory Undermount Single-Bowl Kitchen Sink	K-5864-SU	Cast Iron	White Enamel	1
7e	Microwave	2' - 5 1/4"	1' - 9 1/2"	1' - 7 19/32"	Kitchen	N/A	Zline	Built-In Convection Microwave Oven with 1.6 Cu. Ft. Capacity	MW030BS	Stainless Steel	Stainless Steel	1
8e	Coffee Maker	1' - 11 1/2"	1' - 9 3/4"	1' - 6"	Kitchen	N/A	Miele VitroLine	Built-In Plumbed Coffee System with M Touch Controls	CVA7845	Stainless Steel	Stainless Steel and Black Clean Touch Steel	1
9e	Faucet	0' - 2 1/8"	0' - 6"	0' - 6 1/4"	Powder/Bathrooms	Countertop	Rejuvenation	Tiburcon Single Hole Bathroom Faucet	C109701	Solid Brass	Satin Brass	3
10e	Sink	1' - 8 11/16"	1' - 5 5/16"	0' - 8 5/8"	Powder/Bathrooms	Undermount	Kohler	Memoirs Undermount Bathroom Sink	K-2339-0	Cast Iron	White Enamel	5
11e	Toilet	1' - 6 7/8"	2' - 6 3/8"	2' - 7 5/32"	Powder/Bathrooms	Floor	Kohler	Memoirs Stately Elongated Comfort Height Two-Piece Toilet	K-3817-0	White Porcelain	White Porcelain	4
12e	Refrigerator	2' - 0"	1' - 11 1/8"	2' - 10 1/2"	Bar	N/A	Sub-Zero	24" Designer Undercounter Wine Storage - Panel Ready	DEU2450W	Stainless Steel	Stainless Steel and Glass	1
13e	Fireplace	3' - 6"	1' - 7 5/16"	1' - 10"	Living	In Wall	Empire	Premium Tahoe Direct Vent Gas Fireplace	M35130852	Metal	Matte Black	1
14e	Bath/Shower Fixture	0' - 7"	0' - 9 3/4"	5' - 8"	Bathrooms	Wall	Rejuvenation	Connor Cross Handle Pressure Balanced Tub & Shower Set	C6450	Solid Brass	Aged Brass	2
15e	Tub	5' - 0"	2' - 6"	1' - 6 1/4"	Bathrooms	Drop-In	Hydro Systems	Designer Solitude Acrylic Back to Wall Drop-In Tub	SOL6030ATO-WH	White Acrylic	White Acrylic	2
16e	Shower	5' - 0"	3' - 0"	0' - 3 1/4"	Laundry	Floor	MTI Baths	Boutique Shower Base	MTSB-SS6036HD	SculptureStone	Soft Matte SculptureStone	2
17e	Sink	2' - 9"	1' - 10"	0' - 9 5/8"	Laundry	Undermount	Kohler	Brookfield Undermount Double-Equal Kitchen Sink	K-5846-SU-0	Cast Iron	White Enamel	1
18e	Washer	1' - 11 1/2"	2' - 1 3/8"	2' - 9 1/2"	Laundry	N/A	Miele USA	W1 Front-Load Washing Machine	WXR860 WCS	Metal	Lotus White	1
19e	Dryer	1' - 11 1/2"	2' - 1 3/8"	2' - 9 1/2"	Laundry	N/A	Miele USA	T1 Heat-Pump Dryer	TXR860WP	Metal	Lotus White	1
20e	Shower Fixture	0' - 7 1/4"	0' - 6"	5' - 8"	Laundry/Master Bath	Wall	Rejuvenation	Tiburcon Thermostatic Shower Set with Handshower	C109987	Solid Brass	Satin Brass	2
21e	Shower	5' - 6"	3' - 0"	0' - 3 1/4"	Master Bath	Floor	MTI Baths	Boutique Shower Base	MTSB-SS6636HD	SculptureStone	Soft Matte SculptureStone	1
22e	Faucet	0' - 9 1/4"	0' - 9 5/8"	1' - 3 1/2"	Master Bath	Tub Top Deck	Rejuvenation	Blair Lever Handle Deck Mounted Tub Filler with Handshower	C8344	Solid Brass	Aged Brass	1
23e	Tub	5' - 10"	3' - 0"	1' - 10"	Master Bath	Floor	Hydro Systems	Studio Collection Charlize Soaker Tub	SCHR7036ATO-WH	White Acrylic	White Acrylic	1
24e	Faucet	1' - 0"	0' - 9 1/8"	0' - 3 5/8"	Master Bath	Wall	Rejuvenation	Connor Lever Handle Wall Mound Faucet	C4408	Solid Brass	Aged Brass	2

Furniture Schedule												
Type Mark	Furniture Type	Width	Depth	Height	Level	Manufacturer	Model	Model Number	Base Material	Upholstery Material/Secondary Material	Count	Comments
1f	Kitchen Stool	1' - 11"	1' - 11"	3' - 2"	Level 1	Rejuvenation	Dexter Swivel Couter Height Stool	D101669	Walnut	Nutmeg Leather	5	
2f	Dining Chair	1' - 9 3/8"	2' - 0 3/4"	2' - 9 3/8"	Level 1	Rejuvenation	Dexter Side Chair	D105159	Walnut	Linen Blend Ivory	4	
3f	Dining Table	4' - 3 3/16"	4' - 3 3/16"	2' - 3 3/4"	Level 1	Vipp	Cabin Round Table	VIP249	Oiled Light Oak	Light Grey Marble	1	
4f	Sofa	7' - 7 11/32"	2' - 8 29/32"	2' - 1 13/16"	Level 6	Safavieh Couture	Winford Round Arm Sofa	P00695813	Espresso Wood	Glotta Dark Olive Green Velvet	1	
5f	Chair	2' - 10"	3' - 2"	3' - 8 1/2"	Level 1	Rejuvenation	Clinton Modern Wingback Chair	D100804	Dark Wood	Belgian Linen White	1	
6f	Coffee Table	4' - 0"	2' - 8"	1' - 4"	Level 1	Rejuvenation	Woodson Coffee Table	D101167	Walnut	N/A	1	
7f	Loveseat	6' - 6"	3' - 1"	2' - 11"	Level 1	One Kings Lane	Brooke Sofa	77546455	Latte Wood	Natural Herringbone Polyester Blend	1	
8f	Coffee Table	2' - 9"	2' - 9"	1' - 1 1/2"	Level 1	Burke Decor	Pernella Petite Round Coffee Table	CSL3312/NG	Nero St. Gabriel Marble	N/A	1	
9f	Chair	2' - 6 3/4"	2' - 7 3/32"	2' - 6 5/16"	<varies>	Lebom	Rondo Low Armchair with Armrests	N/A	N/A	Interior Define Performance Antimicrobial Chenille Limestone	5	COM
10f	Bench	4' - 11"	1' - 2"	1' - 7"	Level 1	Rejuvenation	Perkins Spindle Bench	D0876	Walnut	N/A	1	
11f	Chair	2' - 0"	2' - 4"	3' - 1"	<varies>	Simple Relax	Genuine Leather Conference Chair	SMRY5567	Steel	Cocoa Leather	2	
12f	Bed	6' - 10"	7' - 8 1/2"	5' - 0"	Level 2	Tommy Bahama Home	Villa Park Upholstered Bed King	575-144C	Sierra Tan Wood	Mirage Olefin	1	
13f	Murphy Bed	5' - 5 1/2"	1' - 3 7/8"	7' - 4 7/16"	Level 2	Murphy Wall Beds	The Lancaster Murphy Bed Vertical Queen	N/A	Maple	Saybrook Sage Paint	1	
14f	Nightstand	2' - 10"	1' - 8"	2' - 6"	Level 2	Barclay Butera	Cliff Nightstand	920-621	Sandstone Wood	N/A	4	
15f	Bed	5' - 6 3/4"	7' - 4 1/2"	4' - 8"	Level 2	Lexington	Barrington Upholstered Platform Bed Queen	LTN3281	Dark Wood	Brushed Rose Gold Polyester	2	



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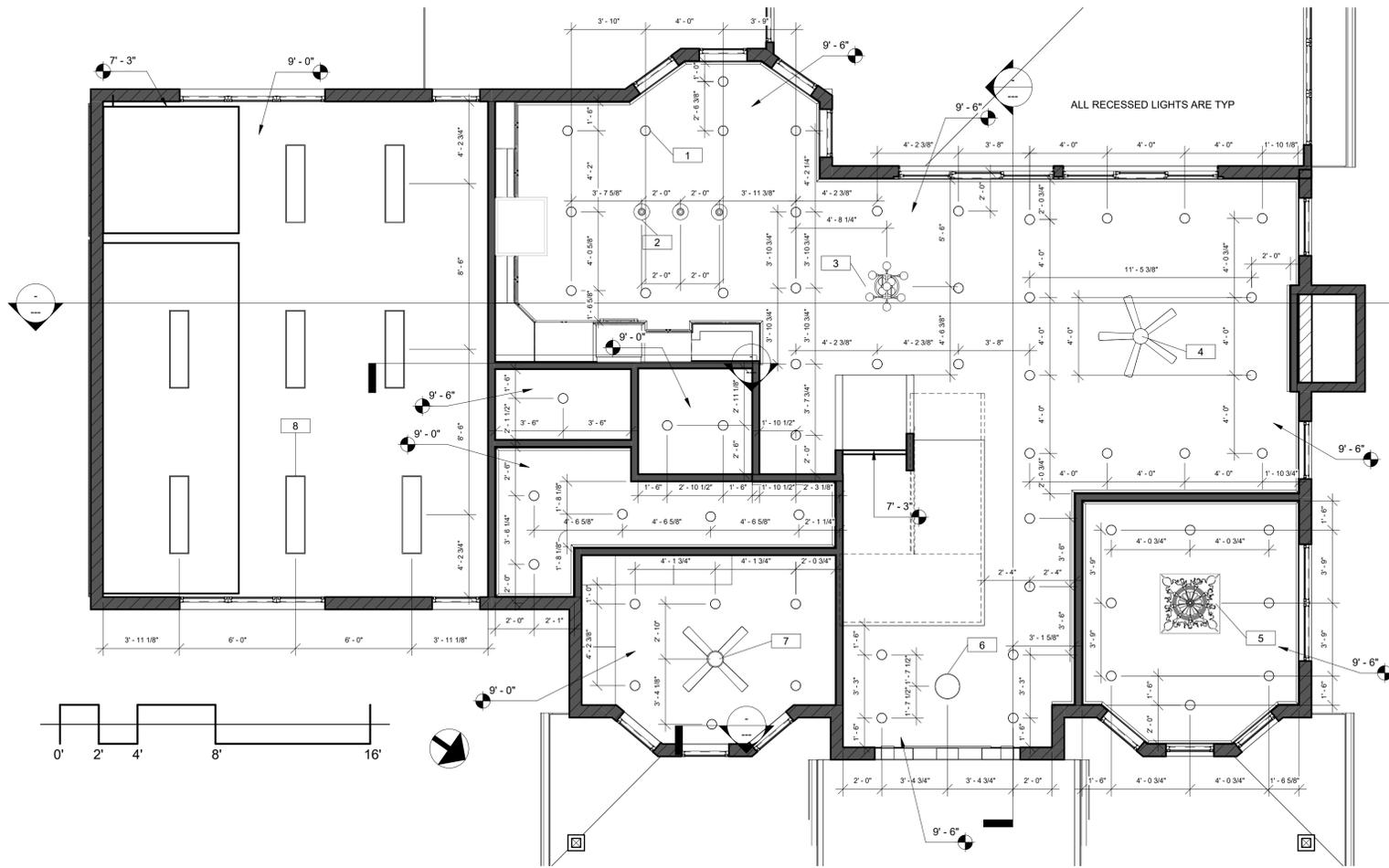
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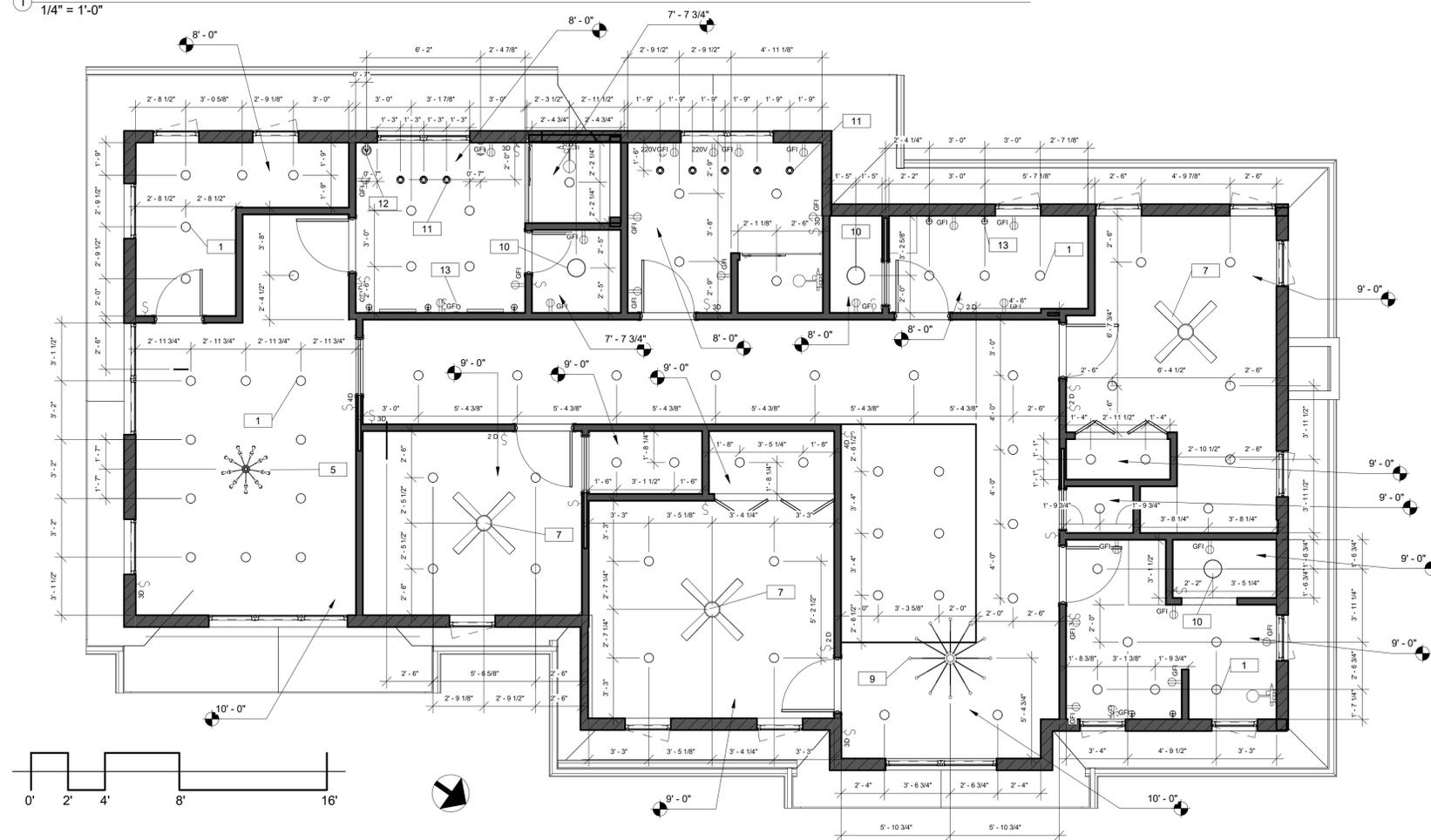
MILHAVEN MANOR RENOVATION

200 DARES FERRY
RD, SPARTANBURG,
SC, 29302



Lighting Fixture Schedule							
Type Mark	Type	Manufacturer Name	Model Name	Model Number	Wattage	Efficacy	Count
1	Recessed Downlight	WAC Lighting	Volta Shallow 4.5 Round Downlight	R4RD1T-F830-CB	36 W	14 lm/W	136
2	Pendant	Rejuvenation	Yeon Globe Pendant	A1658	44 W	14 lm/W	3
3	Chandelier	Rejuvenation	Salem Bare-Bulb Chandelier	A2166	269 W	14 lm/W	1
4	Ceiling Fan	Modern Forms	Aviator Smart Ceiling Fan	NDNH1442			1
5	Chandelier	Rejuvenation	Winfield 6-Light Large Chandelier	A3673	144 W	14 lm/W	2
6	Flush Mount	Rejuvenation	Ankeny 16" Alabaster LED Flush Mount Fixture	A4105			1
7	Ceiling Fan	Minka Aire	Pancake Ceiling Fan	MKA10241			4
8	LED Panel	Sylvania	1X4 Back-Lit LED Flat Panel	SYL-62316	40 W	79 lm/W	9
9	Chandelier	Rejuvenation	Ansel 8-Light Chandelier	A5578	60 W	14 lm/W	1
10	Flush Mount with Vent Fan	Utilitech	Ventilation Fan Lighted Bathroom Fan	7115-03	7 W	149 lm/W	3
11	Recessed Spot Light	WAC Lighting	Oculux 3.5IN Round 0-35 Degree Adjustable	R3BRA-F930-BN	12 W	149 lm/W	8
12	Wall Sconce	Rejuvenation	Eastmoreland 2-1/4" Fitter Arched Wall Sconce	A6921			2
13	Wall Sconce	Rejuvenation	Rigdon Single Sconce	A2790	60 W	120 lm/W	8

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ISSUE FOR: CODE REVIEW

Date Issue Date
Drawn By KB
Checked By JG

Reflected Ceiling Plan

A5a

CLIENT:

MILHAVEN MANOR RENOVATION

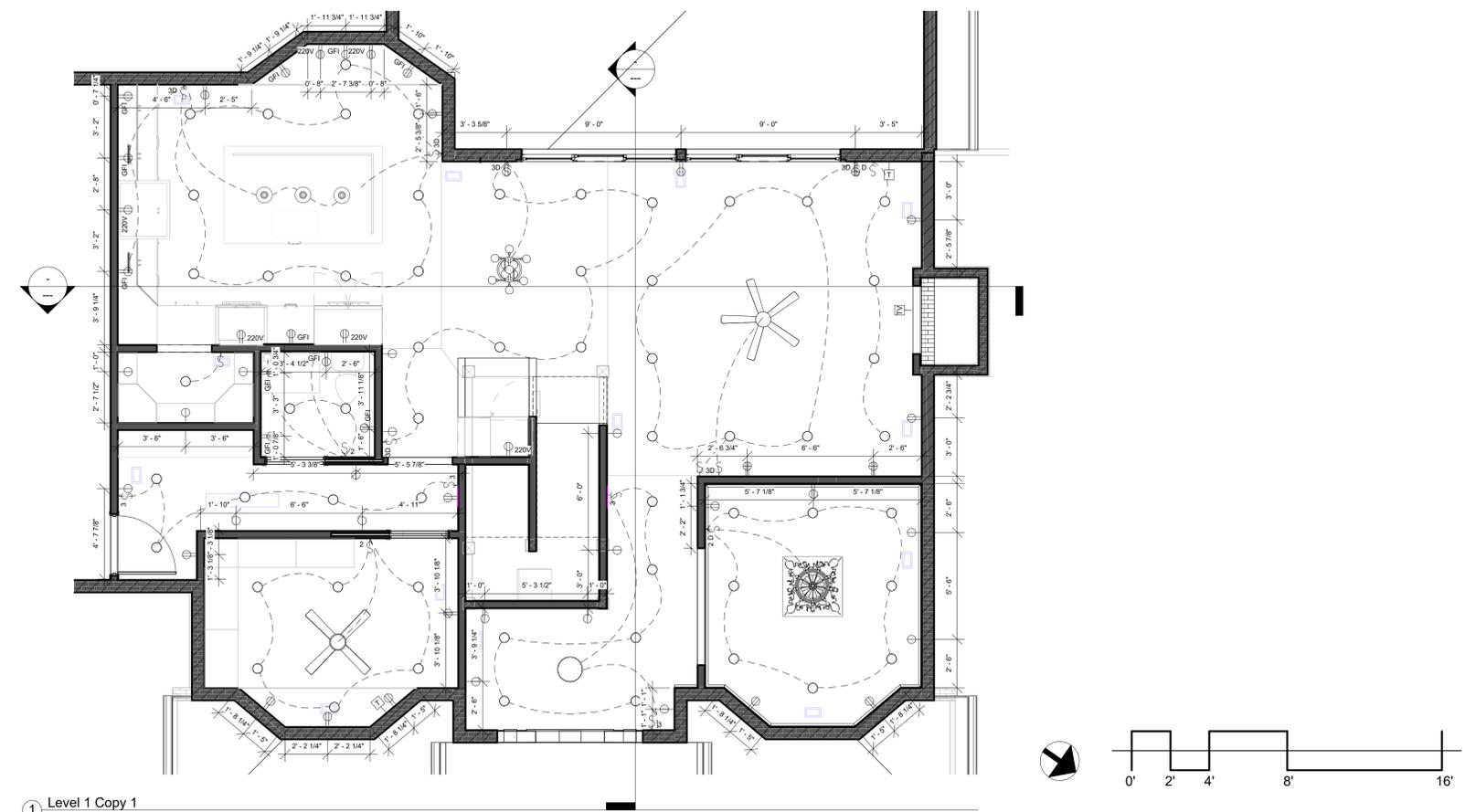
200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

ISSUE FOR: CODE REVIEW

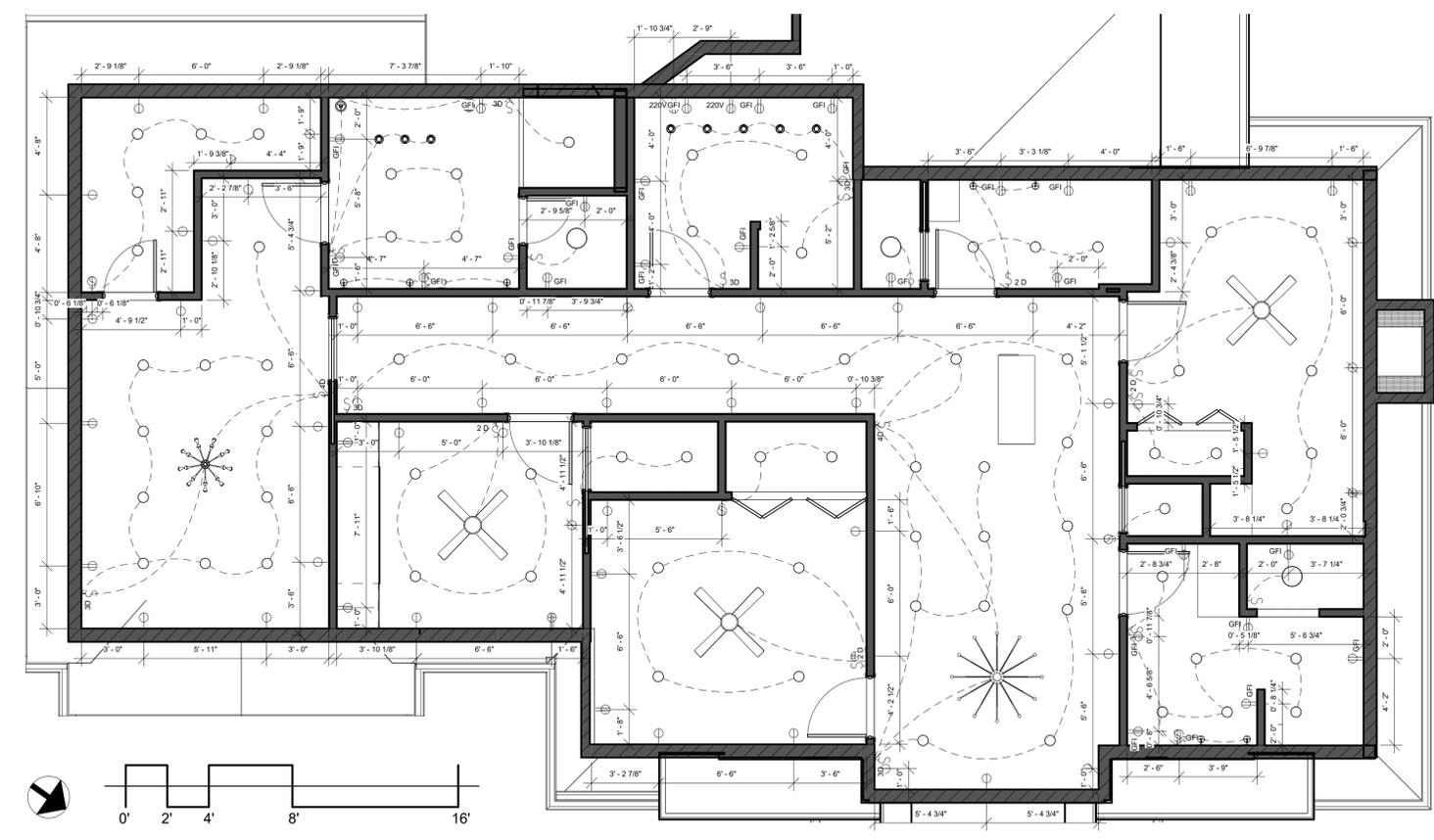
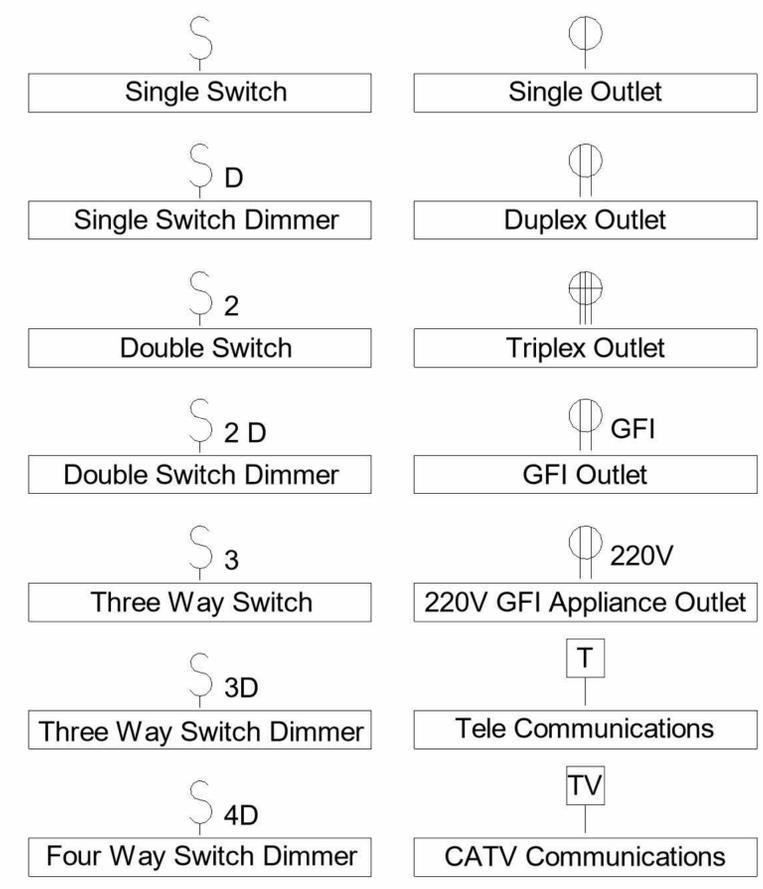
Date	Issue Date
Drawn By	KB
Checked By	JG

Power & Signal Plan

A6



① Level 1 Copy 1
1/4" = 1'-0"



② Level 2 Copy 1
1/4" = 1'-0"

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MILHAVEN MANOR RENOVATION

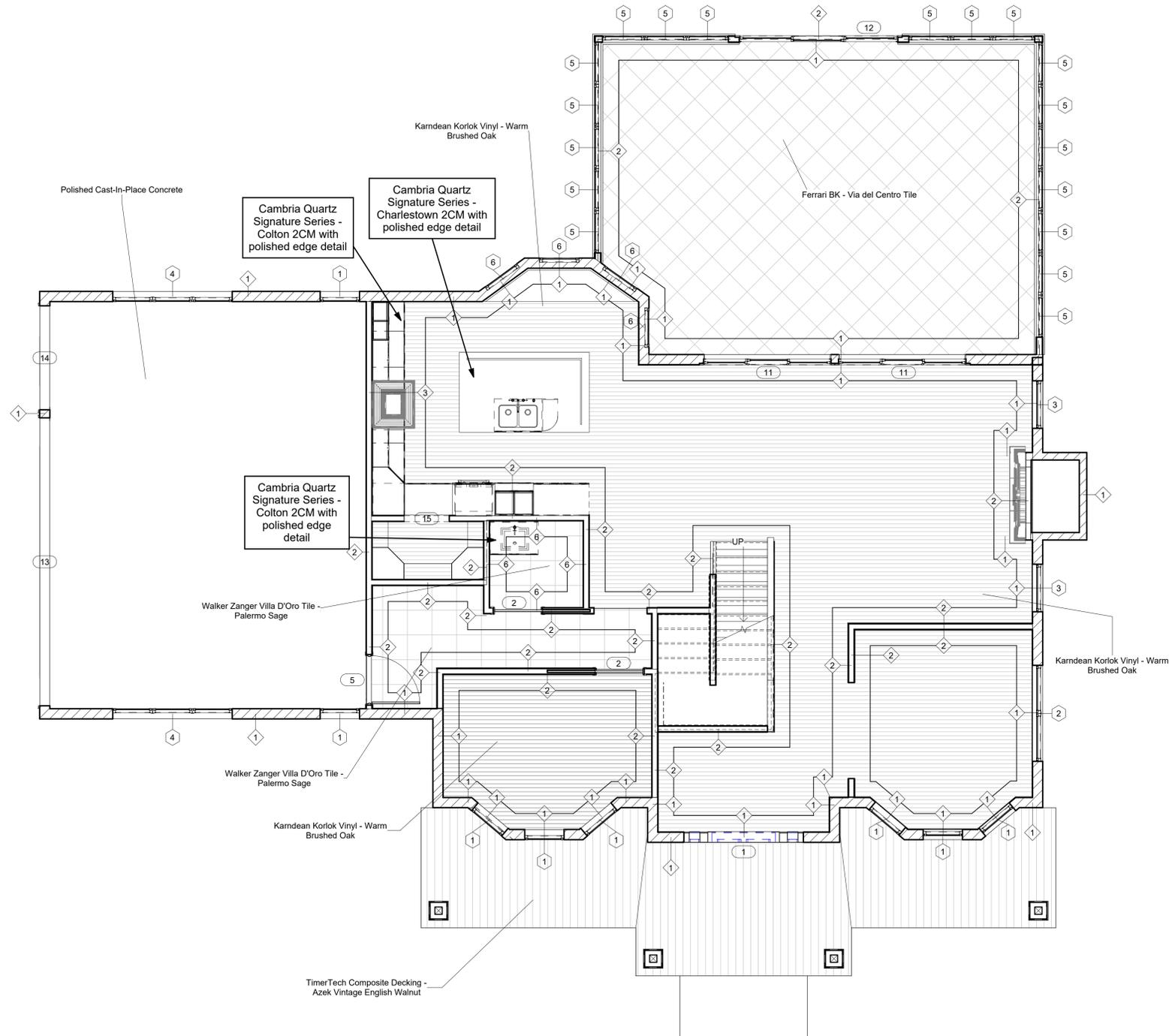
200 DARES FERRY RD, SPARTANBURG, SC, 29302

ISSUE FOR: CODE REVIEW

Date Issue Date
Drawn By KB
Checked By JG

Finishing Plan Level 1

A7a



1 FINISH PLAN LEVEL 1
1/4" = 1'-0"

- 1 Wall Tag
- 101 Door Tag
- 1t Window Tag
- TimberTech Composite Decking - Azek Vintage English Walnut
- Kardean Korlok Select Vinyl - Warm Brushed Oak
- Ferrari BK - Via del Centro Tile
- Walker Zanger Villa D'Oro Tile - Palermo Sage
- Polished Concrete
- Carpet

Legend 3
1" = 1'-0"

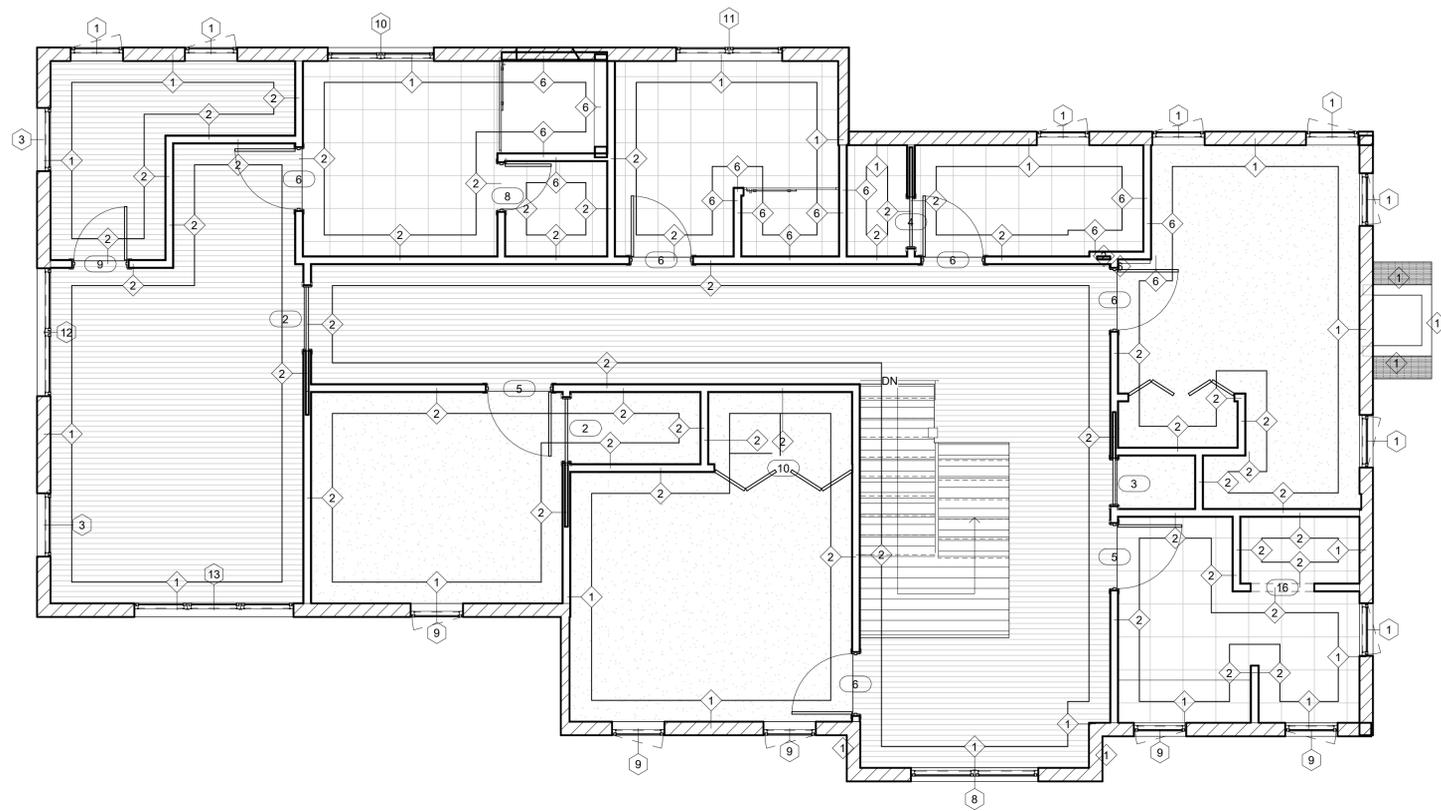
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Wall Schedule						
Mark	Description	Family	Function	Material main	Structural Material	Finish
1	White Wash Brick	Basic Wall	Exterior	White Wash Brick	White Brick	White Wash Brick
2	GWB on Wood Stud	Basic Wall	Interior	GWB	Softwood, Lumber	PPG 1025-2 Silent Smoke
3	Slab over Wood Stud	Basic Wall	Interior	Solid Slab	Softwood, Lumber	Cambria Quartz - Colton Signature Series
4	Patio Retaining Wall	Basic Wall	Exterior	Concrete	Block - York Arctic White	Retaining Block - York
5	Front Porch Skirting	Basic Wall	Foundation	White Wash Brick	White Brick	White Wash Brick
6	Tile on Wood Stud	<varies>	Interior	Tile	Softwood, Lumber	Bedrosian's Tile Cloe - Creme

Floor Schedule						
Type	Level	Family	Description	Function	Use Location	
Ferrari BK - Via del Centro	Level 1	Floor	Pavers	Exterior	Sunroom, Exterior Walkways, Back Patio	
Wood Joist 10" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedroom A	
Wood Joist 10" - Ceramic Tile	<varies>	Floor	Tile	Interior	Mudroom, Powder Room, Bathrooms, Laundry	
Wood Joist 10" - Wood Finish	<varies>	Floor	Wood Floor	Interior	Main Floor, Upstairs Hallway, Master Bedroom	
Wood Joist 10" - Wood Finish 2	Level 1	Floor	Composite Decking	Interior	Front Deck	
Wood Truss Joist 12" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedrooms B and C	

CLIENT:



TimberTech Composite Decking - Azek Vintage English Walnut



Karndean Korlok Select Vinyl - Warm Brushed Oak



Ferrari BK - Via del Centro Tile



Walker Zanger Villa D'Oro Tile - Palermo Sage



Polished Concrete



Carpet



Wall Tag



Door Tag



Window Tag

1 FINISH PLAN LEVEL 2
1/4" = 1'-0"

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2	GWB on Wood Stud	Basic Wall	Interior	GWB	Softwood, Lumber	PPG 1025-2 Silent Smoke
3	Slab over Wood Stud	Basic Wall	Interior	Solid Slab	Softwood, Lumber	Cambria Quartz - Colton Signature Series
4	Patio Retaining Wall	Basic Wall	Exterior	Concrete	Block - York Arctic White	Retaining Block - York
5	Front Porch Skirting	Basic Wall	Foundation	White Wash Brick	White Brick	White Wash Brick
6	Tile on Wood Stud	<varies>	Interior	Tile	Softwood, Lumber	Bedrosian's Tile Cloe - Creme

Door Schedule						
Mark	Level	Description	Head Height	Sill Height	Dimensions	Quantity
1	Level 1	Arched Exterior Door	6' - 6"	0' - 0"	6' - 6" x 3' - 0"	1
2	Level 1 & Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	4
3	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
4	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 4"	1
5	Level 1 & Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	3
6	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 10"	5
8	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
9	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 6"	1
10	Level 2	<varies>	<varies>	0' - 0"	<varies> x <varies>	2
11	Level 1	Sliding Glass Paito Door	7' - 11 1/2"	0' - 0"	7' - 11 1/2" x 8' - 0"	2
12	Level 1	Sliding Glass Paito Door	9' - 0"	0' - 0"	9' - 0" x 9' - 11 1/2"	1
13	Level 1	Single Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 18' - 0"	1
14	Level 1	Double Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 6' - 6"	1
15	Level 1	Door Opening Hidden Behind Faux Cabinet	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1
16	Level 2	Door Opening	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1

Floor Schedule					
Type	Level	Family	Description	Function	Use Location
Ferrari BK - Via del Centro	Level 1	Floor	Pavers	Exterior	Sunroom, Exterior Walkways, Back Patio
Wood Joist 10" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedroom A
Wood Joist 10" - Ceramic Tile	<varies>	Floor	Tile	Interior	Mudroom, Powder Room, Bathrooms, Laundry
Wood Joist 10" - Wood Finish	<varies>	Floor	Wood Floor	Interior	Main Floor, Upstairs Hallway, Master Bedroom
Wood Joist 10" - Wood Finish 2	Level 1	Floor	Composite Decking	Interior	Front Deck
Wood Truss Joist 12" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedrooms B and C

Window Schedule						
Mark	Level	Description	Sill Height	Head Height	Dimensions	Quantity
1	Level 2	Single Wide Fixed Casement Window	2' - 6"	7' - 5 3/4"	4' - 11 3/4" x 2' - 5 5/8"	3
1	Level 2	Single Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 2' - 5 5/8"	5
1	Level 1	Single Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	8
2	Level 1	Double Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 6' - 0"	1
3	Level 2	Single Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 2' - 11 5/8"	2
3	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 11 5/8"	2
4	Level 1	Triple Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 7' - 6"	2
5	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 7 5/8"	18
6	Level 1	Single Wide Fixed Casement Window	4' - 0"	8' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	4
8	Level 2	Triple Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 6' - 0"	1
9	Level 2	Single Wide Swinging Casement Window	2' - 8"	7' - 1 3/4"	4' - 5 3/4" x 2' - 5 5/8"	5
10	Level 2	Double Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 5' - 0"	1
11	Level 2	Double Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 5' - 0"	1
12	Level 2	CSMT	3' - 0"	9' - 11 3/4"	6' - 11 3/4" x 6' - 0"	1
13	Level 2	CSMT	2' - 8"	8' - 2"	5' - 6" x 7' - 6"	1

MILHAVEN MANOR RENOVATION

200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

ISSUE FOR: CODE REVIEW

Date Issue Date
Drawn By KB
Checked By JG

Finishing Plan Level 2

A7b

CLIENT:

MILHAVEN MANOR RENOVATION

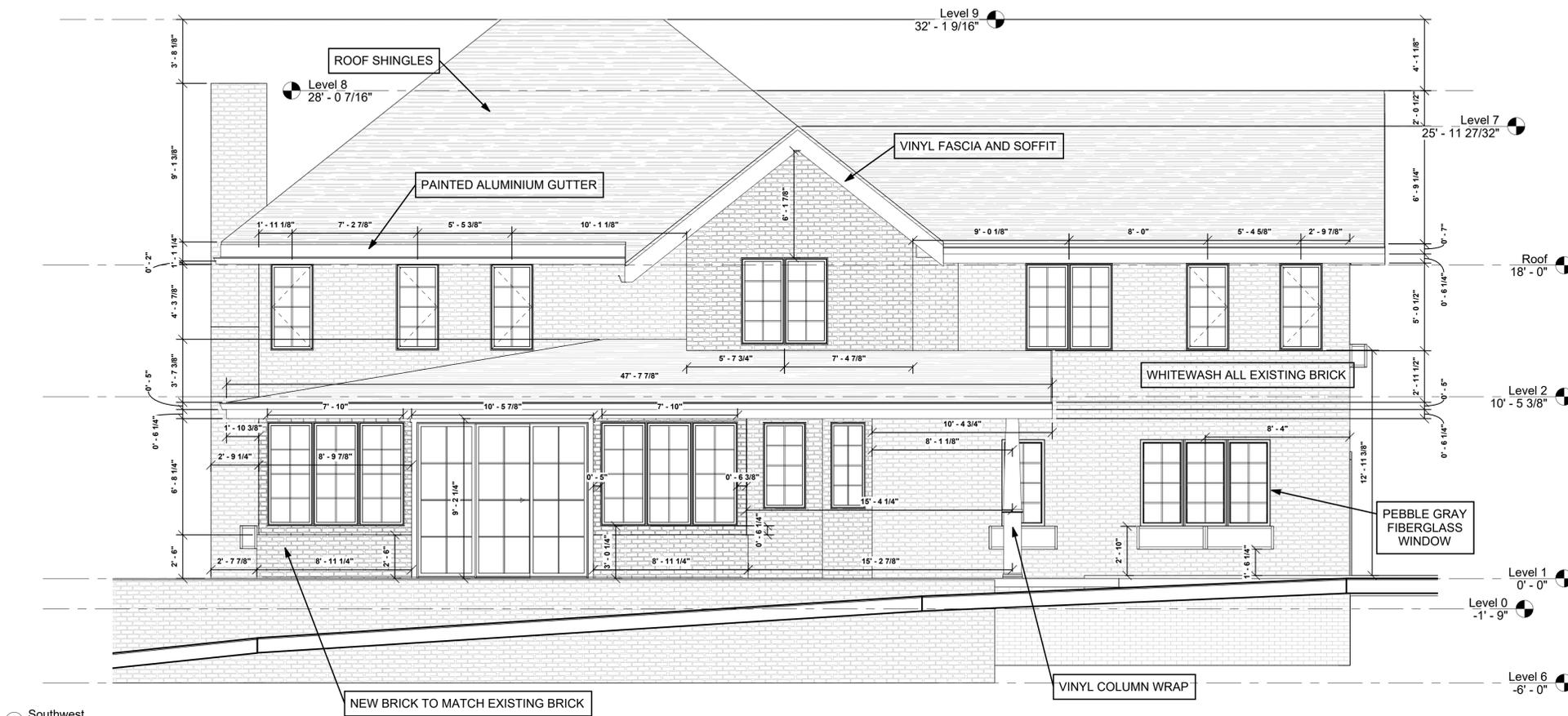
200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

ISSUE FOR: CODE REVIEW

Date	Issue Date
Drawn By	KB
Checked By	JG

Exterior Elevations

A8a



① Southwest
1/4" = 1'-0"



② Northeast
1/4" = 1'-0"

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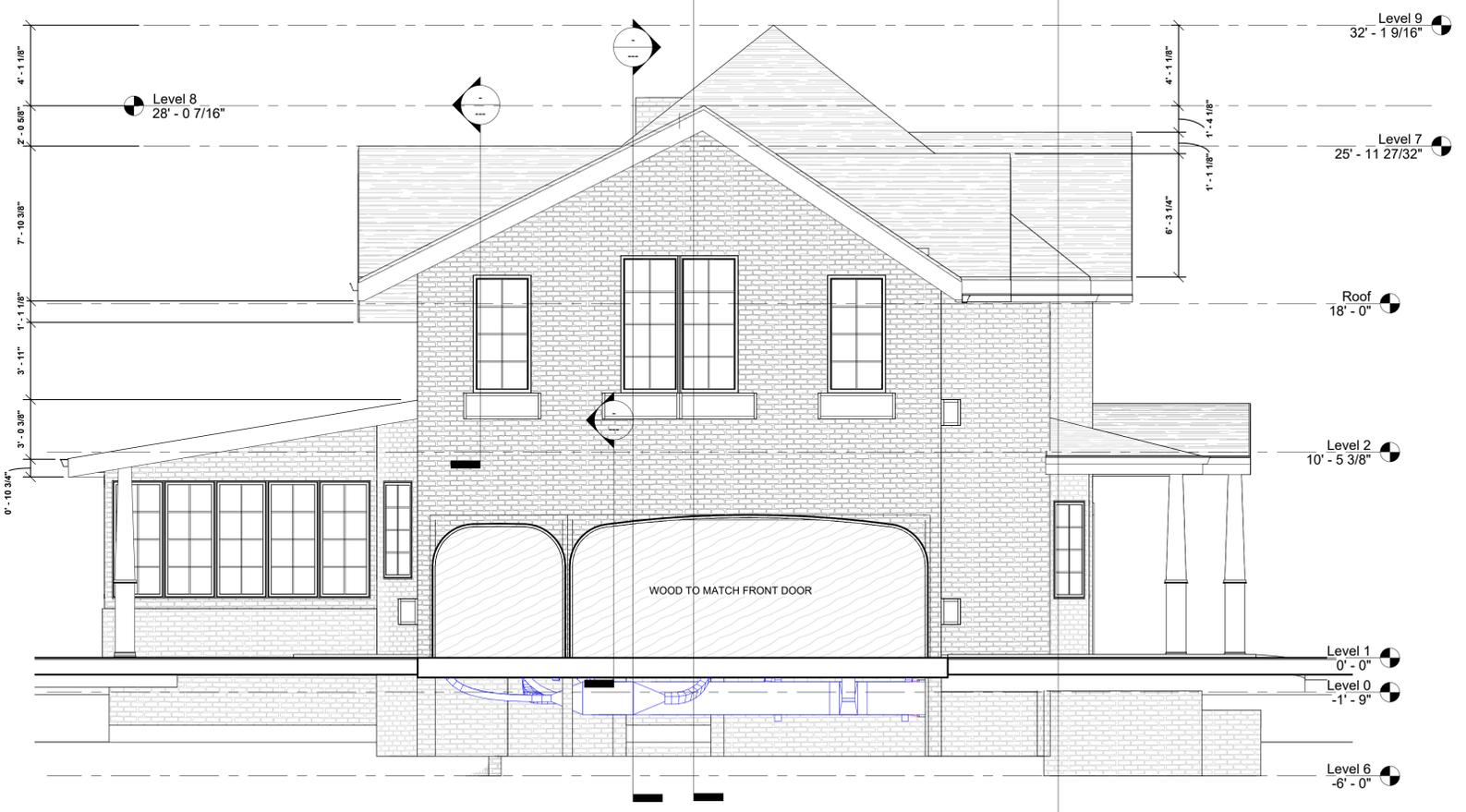
CLIENT:

MILHAVEN MANOR RENOVATION

200 DARES FERRY
RD, SPARTANBURG,
SC, 29302



① Northwest
1/4" = 1'-0"



② Southeast
1/4" = 1'-0"

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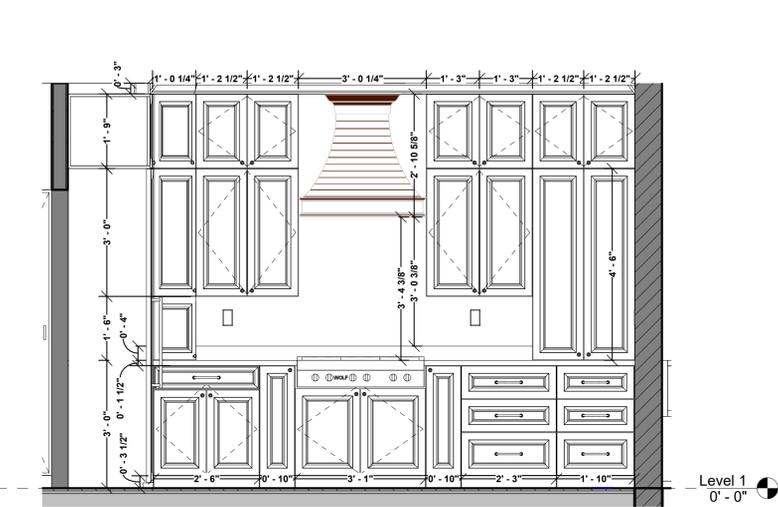
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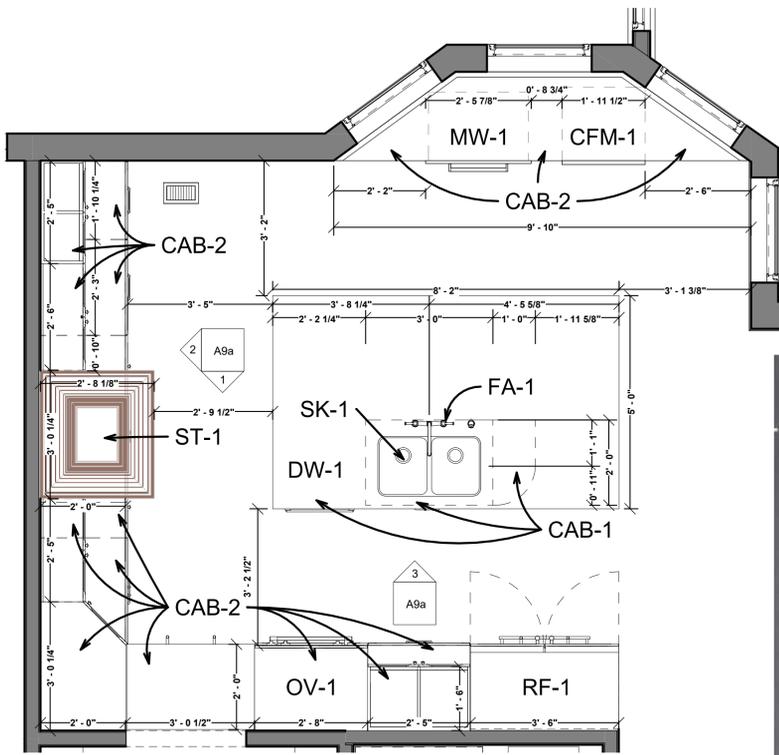
Exterior Elevations

A8b

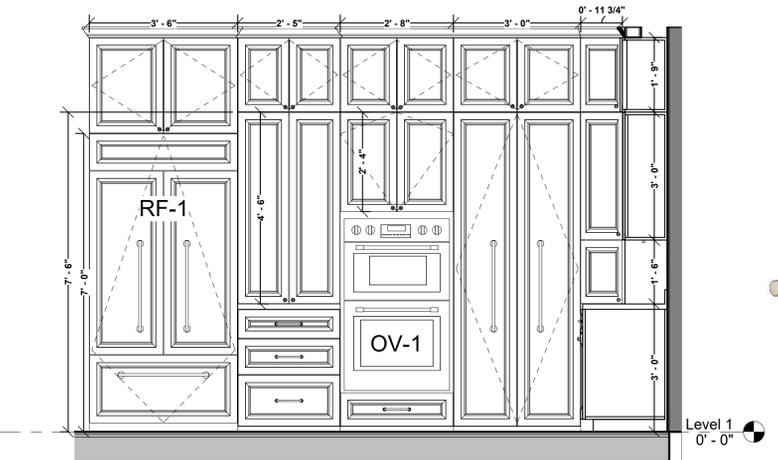
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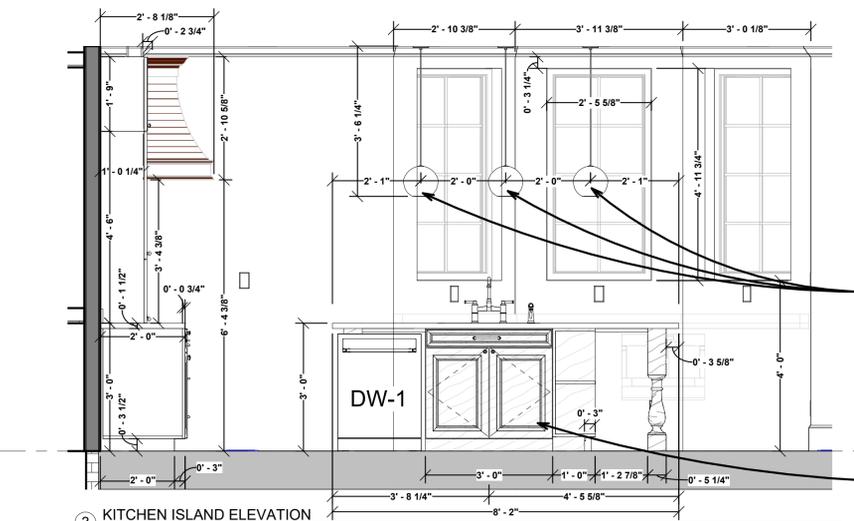
2 WEST KITCHEN WALL ELEVATION
1/2" = 1'-0"



4 KITCHEN
1/2" = 1'-0"



1 SOUTH KITCHEN WALL ELEVATION ALL CAB ON WALLS ARE TYPE CAB-2
1/2" = 1'-0"



3 KITCHEN ISLAND ELEVATION
1/2" = 1'-0"



CLAYBOURNE DRAWER PULL
REJUVENATION
1" H x 4", 6", 8", 12" W



RF-1 CLASSIC FRENCH DOOR
REFRIGERATOR/FREEZER WITH
INTERNAL DISPENSER - PANEL
READY SUBZERO-WOLF
42" W x 84" H x 24" D



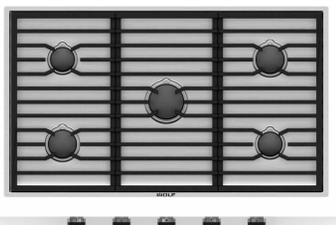
FA-1 ARTESO BRIDGE FAUCET
WITH SIDE SPRAYER BRIZO
13-21/64" H x 13-13/16" W



SK-1 UNDERMOUNT SINGLE-BOWL
KITCHEN SINK KOHLER
33" L x 22" W x 9-5/8" D



MW-1 BUILT-IN CONVECTION
MICROWAVE OVEN WITH 1.6
CUBIC FOOT CAPACITY ZLINE
29-1/4" W x 21-1/2" D x 19-3/5" H



ST-1 36" CONTEMPORARY GAS
COOKTOP - 5 BURNERS
SUBZERO-WOLF
36" W x 6-3/4" H x 21" D



LT-2 YEON 14" GLOBE PONDANT
REJUVENATION
42" L x 14" W x 14" SHADE H



CAB-1 CUSTOM CABINETRY
SOLID MAPLE CONSTRUCTION
STAINED IN RUBIO MONOCOAT
OIL PLUS 2C IN CHOCOLATE



CAB-2 CUSTOM CABINETRY
SOLID MAPLE CONSTRUCTION
PPG WHISKERS PAINT COLOR



OV-1 ELECTRIC DOUBLE
PREMIERE OVEN VIKING
#VDOE530PG
29-1/2" W x 51-7/8" H x 25-3/4" D



DW-1 FULLY INTEGRATED
DISHWASHER WITH 16
PLACE SETTING
CAPACITY VIKING
23-9/16" W x 22-3/16" D x
33-7/8" H



CFM-1 BUILT-IN PLUMBED COFFEE
SYSTEM WITH M TOUCH
CONTROLS MIELE VITROLINE
23" W x 19-5/8" D x 17-15/16" H

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200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

ISSUE FOR: CODE REVIEW

Date	Issue Date
Drawn By	KB
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Kitchen Detailed Elevations

A9a

CLIENT:

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TIBURON THERMOSTATIC SHOWER SET WITH HANDSHOWER
REJUVENATION 7-1/4" TRIM DIAMETER CONTROL x 4-1/2" TRIM DIAMETER, 6"
SHOWER ARM D x 5-5/8" SHOWER HEAD DIAMETER, 68" HOSE LENGTH



SH-1

ROUNDED RECTANGLE
METAL FRAMED MIRROR
REJUVENATION
MI-1 20" W x 36" H x 1-1/2" D



MI-1



TB-1 STUDIO COLLECTION CHARLIZE SOAKER TUB
HYDRO SYSTEMS
70" L x 36" W x 22" D

MEMOIRS STALEY
ELONGATED COMFORT HEIGHT
TWO-PIECE TOILET KOHLER
30-3/8" D x 18-7/8" W x 31-1/6" H



TLT-1



CAB-2
CUSTOM CABINERY
SOLID MAPLE CONSTRUCTION
PPG WHISKERS PAINT COLOR



SK-2 MEMOIRS UNDERMOUNT
BATHROOM SINK KOHLER
17-5/16" D x 20-11/16" W x 8-5/8" H



LTS-1

RIGDON SINGLE SCONCE
REJUVENATION
6-3/4" W x 8-1/4" H x 8-1/4" D

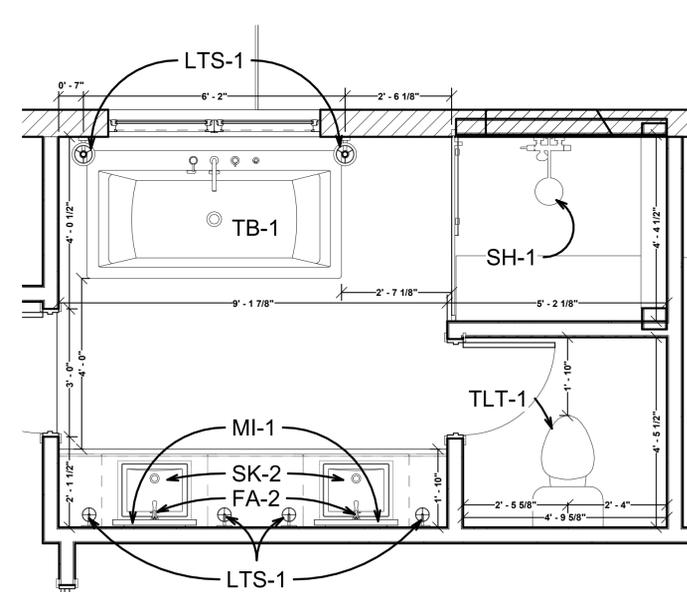


FA-2

TIBURON SINGLE HOLE
BATHROOM FAUCET
REJUVENATION
2-1/8" W x 6-1/4" H x 6" D

GENERAL NOTES

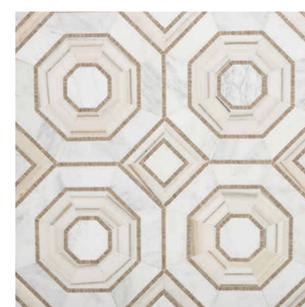
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4 MASTER BATH
1/2" = 1'-0"



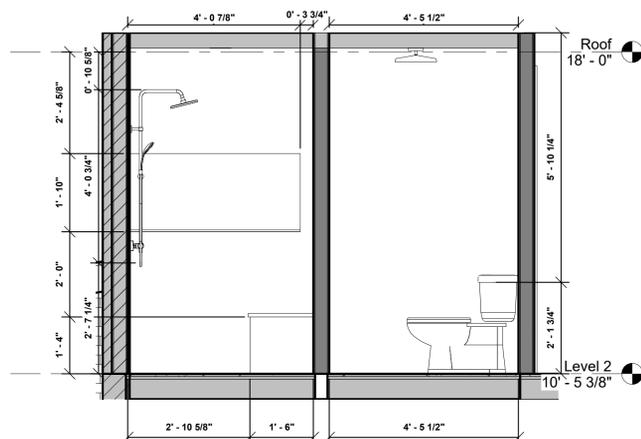
TL-1 CLOE 2.5" X 8" CERAMIC TILE
IN CREME BEDROSANS TILE
AND STONE
2-1/2" W x 8" W x 3/8" THICK



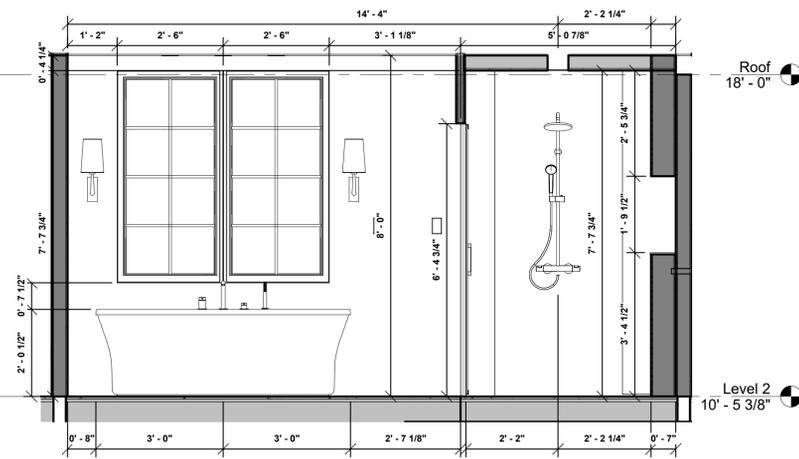
TL-2 VILLA D'ORO PALERMO SAGE
FLOOR TILE WALKER ZANGER
10-5/8" x 20-3/4" x 3/8" THICK



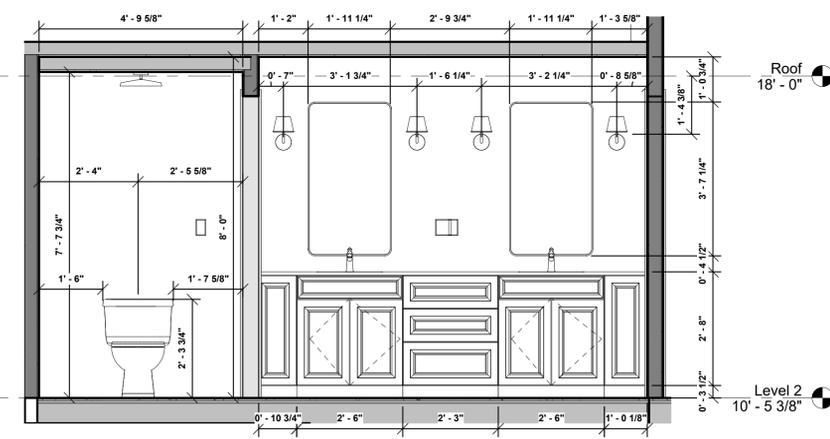
CT-1 COLTON SIGNATURE SERIES
QUARTZ CAMBRIA USA
132" x 65-1/2" x 3CM THICK



1 EAST MASTER BATH WALL
1/2" = 1'-0"



2 NORTH MASTER BATH WALL
1/2" = 1'-0"



3 SOUTH MASTER BATH WALL
1/2" = 1'-0"

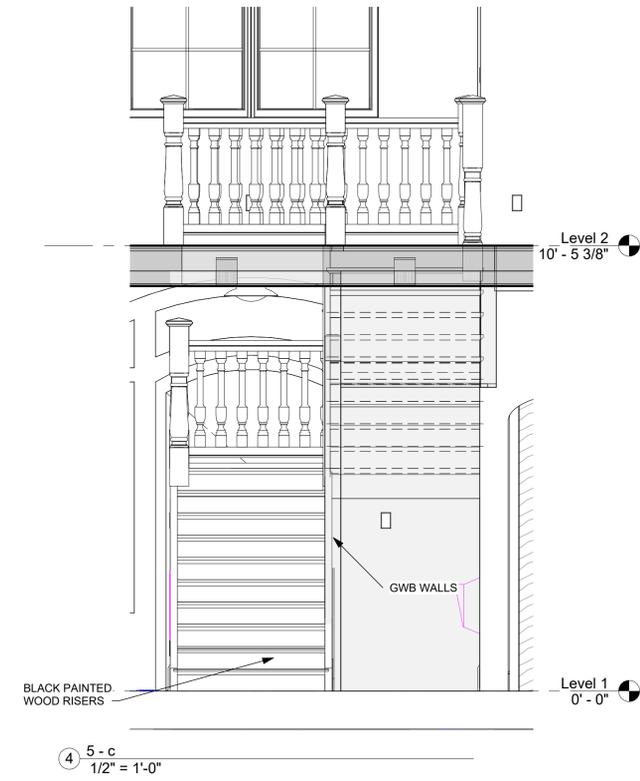
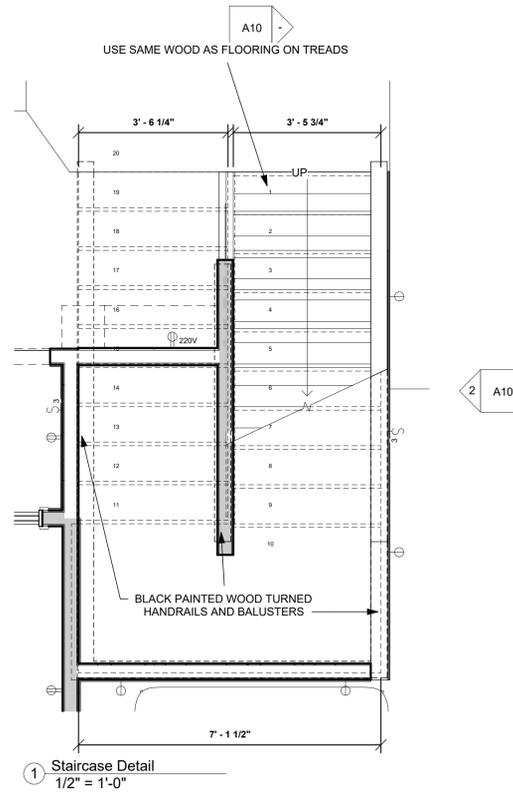
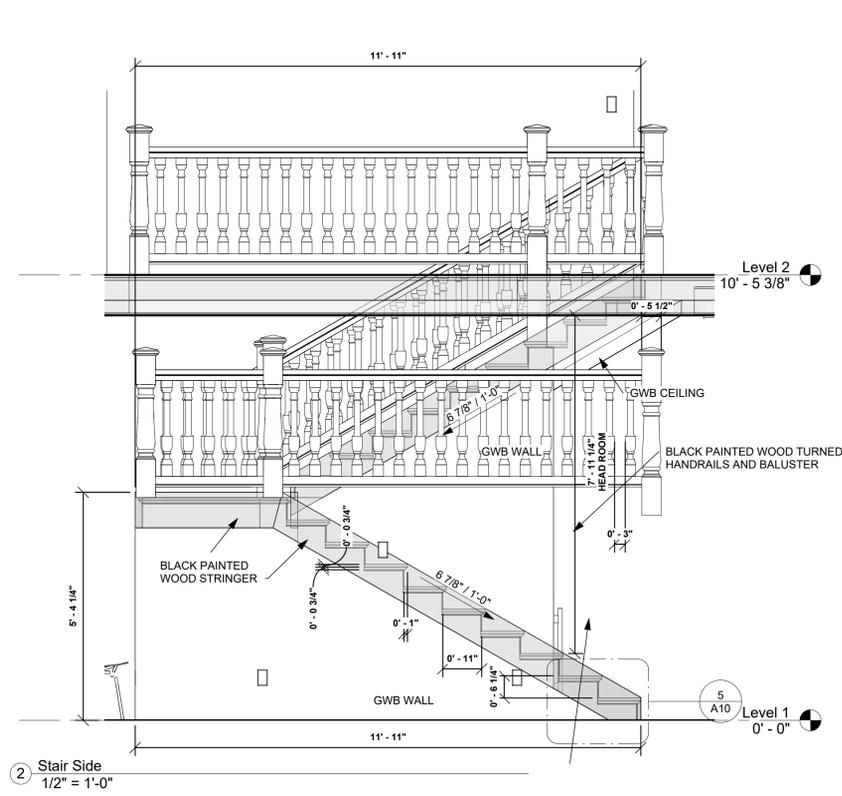
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Date Issue Date
Drawn By KB
Checked By JG

Bath Detailed Elevations

A9b

CLIENT:



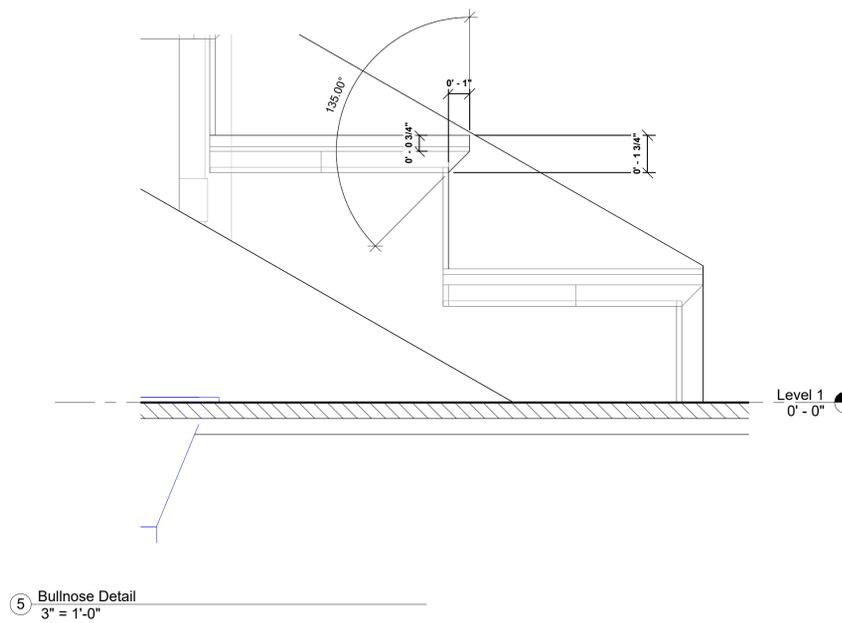
2 Stair Side
1/2" = 1'-0"

1 Staircase Detail
1/2" = 1'-0"

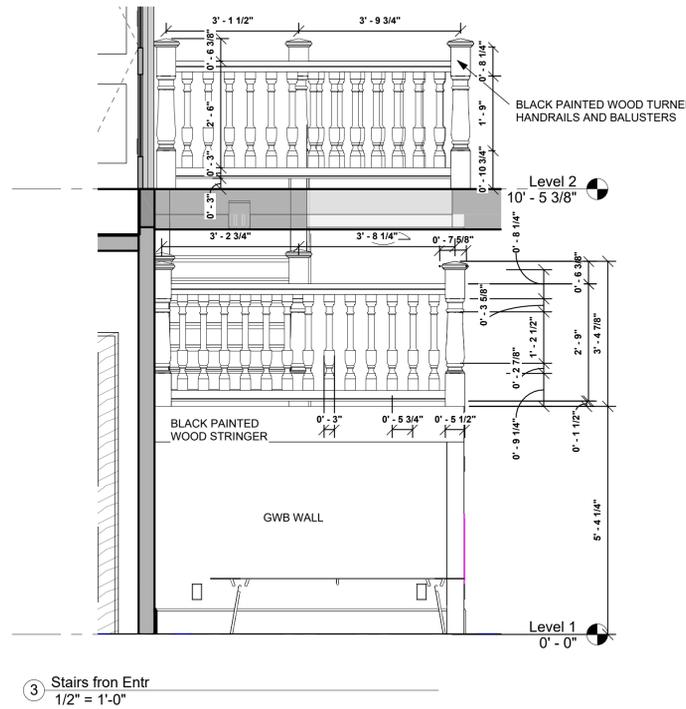
4 5-c
1/2" = 1'-0"

GENERAL NOTES

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- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES. CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING SUBCONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
- ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK, IF THESE DRAWINGS OR ANY PART THEREOF ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
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5 Bullnose Detail
3" = 1'-0"



3 Stairs from Entr
1/2" = 1'-0"

MILHAVEN MANOR RENOVATION

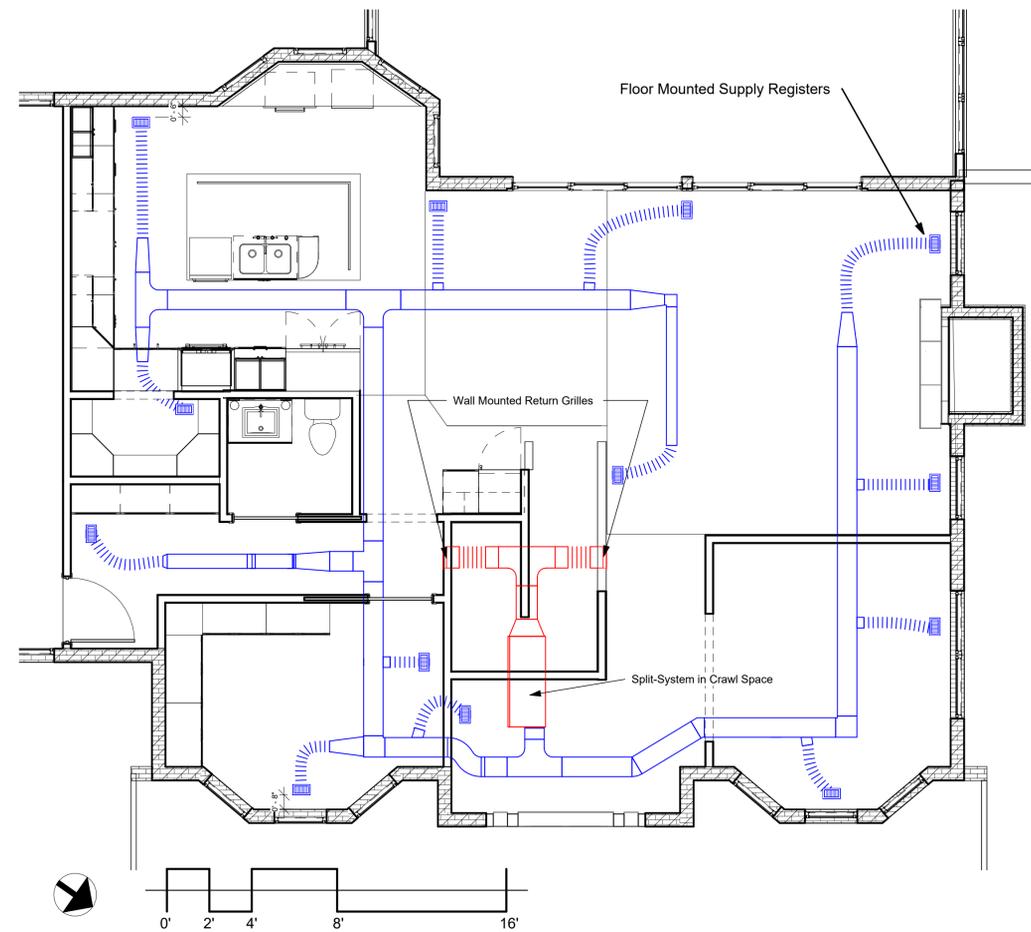
200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

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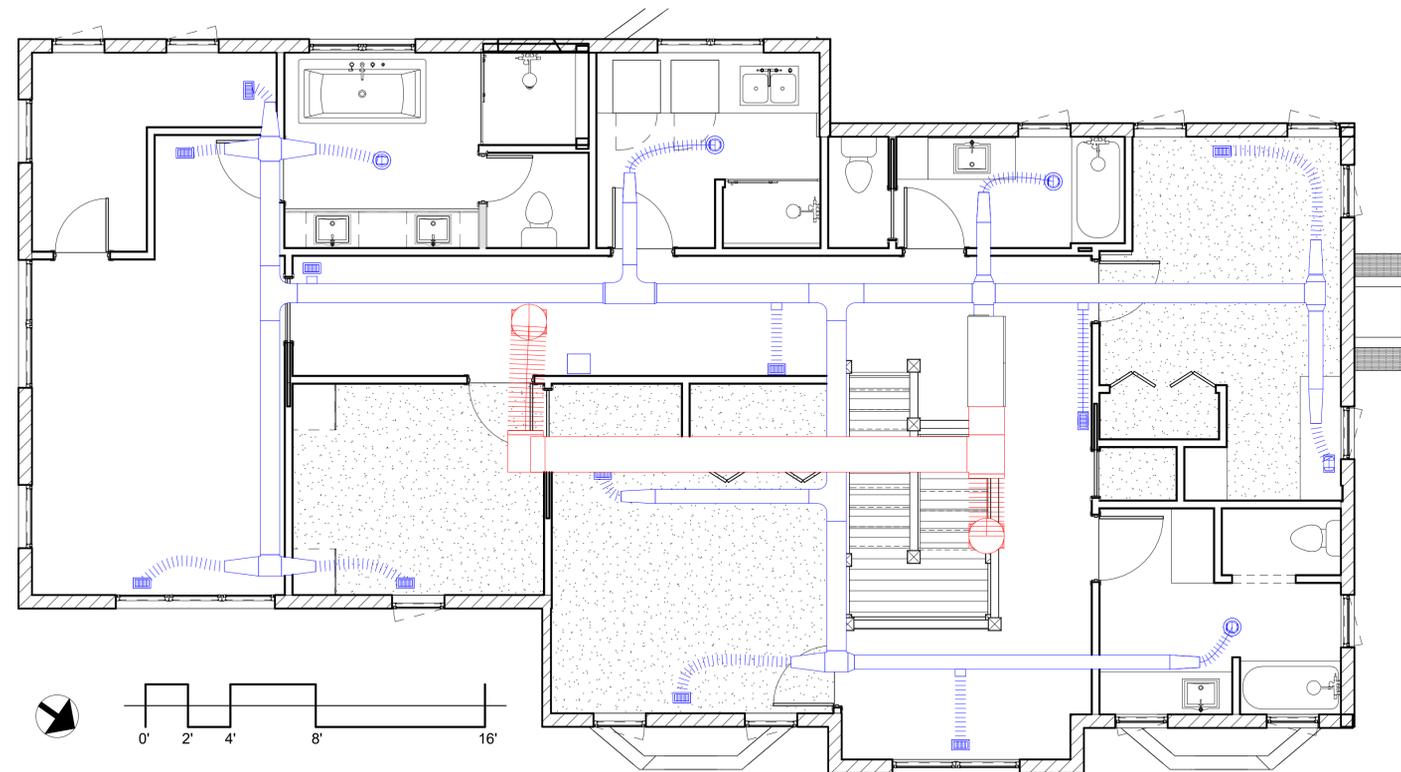
Date	Issue Date
Drawn By	KB
Checked By	JG

Stair Detail

A10



1 Level 1 - HVAC
1/4" = 1'-0"



2 Level 2 - HVAC
1/4" = 1'-0"

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MILHAVEN MANOR RENOVATION

200 DARES FERRY
RD, SPARTANBURG,
SC, 29302

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Date	Issue Date
Drawn By	KB
Checked By	JG

Mechanical Plan

A11